


REPORT TO PLANNING COMMITTEE

11th March 2020

Application Reference	DC/19/63824
Application Received	18 December 2019
Application Description	Retention of sub division of shop into two units with new shop fronts, change of use of first and second floors from shop storage to 4 No. self contained flats with dormer windows to front and rear, alterations to rear to include installation of roller shutters.
Application Address	584 - 586 Bearwood Road, Smethwick, B66 4BW
Applicant	Veema (UK) Ltd
Ward	Abbey
Contribution towards Vision 2030:	
Contact Officer(s)	William Stevens William_stevens@sandwell.gov.uk 0121 569 4897

RECOMMENDATION

That planning permission is granted subject to:

- (i) The windows on the rear elevation being obscurely glazed, and retained as such;
- (ii) Additional roof lights to serve the first floor living rooms; and
- (iii) Air quality and noise mitigation measures.

1. BACKGROUND

1.1 This is a part retrospective application.

1.2 This application is being reported to your Planning Committee because three objections have been received.

2. SUMMARY OF KEY CONSIDERATIONS

- 2.1 The site is allocated as part of the retail core within Bearwood Town Centre.
- 2.2 The material planning considerations which are relevant to this application are:-

Government policy (NPPF)
Planning history
Overlooking/loss of privacy
Loss of light and/or outlook
Public visual amenity
Overbearing nature of proposal
Access, highway safety, and parking
Noise and disturbance from the scheme
Disturbance from smells

3. THE APPLICATION SITE

- 3.1 The application site is situated on the western side of Bearwood Road, Smethwick. The application site relates to retail units within a retail area, with residential properties to the side (at first floor level) and to the rear in Herbert Road.

4. PLANNING HISTORY

- 4.1 The site benefits from planning permission for a similar use to that proposed. However, the permission differs from this proposal as part of the existing first floor was to be demolished, and the residential properties set back from the rear gardens of properties on Herbert Road. The applicant proposes to make use of the existing building, providing additional living space to two of the previously approved flats.

- 4.2 There is one relevant planning application: -

- | | | | |
|-----|-------------|---|------------------------|
| 4.3 | DC/19/62649 | Proposed sub division of shop into two units with new shop fronts, change of use of first and second floors from shop storage to 2 no. self-contained flats with dormer windows to front and rear, alterations to rear to include installation of roller shutters and parking area. | Approved
09/04/2019 |
|-----|-------------|---|------------------------|

5. APPLICATION DETAILS

- 5.1 The applicant proposes to retain the use of the subdivision of the one shop into two units with new shop fronts, change of use of first and second floors from shop storage to 4 No. self-contained flats with dormer windows to front and rear (for clarity, DC/19/62649 was for an additional two flats, totalling four on site). Alterations to the rear include the installation of roller shutters.
- 5.2 The majority of the works can be considered permitted development (i.e. the number of flats) however, as the four flats share the same entrance and internal landing, planning permission is required.
- 5.3 The applicant is aware of the concerns raised by the objectors with the potential overlooking issue (Point 6.2(i)) therefore the applicant has agreed to obscurely glaze the windows to the rear and provide an additional two roof lights to introduce more light to living areas.

6. PUBLICITY

- 6.1 The application has been publicised by neighbour notification letter with three objections received.

6.2 Objections

Objections have been received on the following grounds:

- (i) Privacy – the future occupiers will overlook the gardens and living areas of Herbert Road and the interface distances are less than is allowed;
- (ii) Light - natural light has already reduced due to this development;
- (iii) Noise nuisance - given the depth of the living space, the windows in the rear will be open for a significant time to try to vent these rooms and will be a significant source of noise nuisance;
- (iv) Noise/air pollution - the garage access will increase both noise and air pollution to both the objector's gardens and houses;
- (v) Light pollution - resulting from the additional lighting to the building impacting on the properties in Herbert Road;
- (vi) Parking concerns – no parking provision for residents and the loading bay area is not adequate for manoeuvring

6.3 Responses to objections

I respond to the objector's comments in turn;

- (i) Privacy - The building already exists, however the residential use would intensify the current use. Nevertheless, the distance

- between the rear of the properties in Herbert Road and the application site ranges from 18m to 25m (the Council's separation distance guidelines is 21m). Furthermore, the applicant has agreed to obscurely glaze the windows and any approval can be conditioned accordingly.
- (ii) Light - No substantial new build is proposed, therefore there would be no additional loss of light.
 - (iii) Noise nuisance – As indicated in (i) above, the proposal broadly complies with separation distances, however the applicant has agreed to additional skylights which will aid ventilation. The proposal should omit no more noise than would be expected from any other residential property.
 - (iv) Noise/air pollution - A service road would separate the proposed dwellings and those gardens of properties on Herbert Road. In my opinion, I do not foresee that the commercial activities would cause a significant disturbance to the objector's property, and is already accessible for such purposes.
 - (v) Light pollution – whilst being sympathetic to the residents' concerns, the proposal relates to an existing commercial activity and hence a degree of light pollution is inevitable, however I do not consider that this is significant enough to warrant refusal.
 - (vi) Parking concerns – Highways have no objections to lack of residents parking given the town centre location and previous appeal decisions. With regard to the commercial parking and manoeuvring area, approval has previously been granted for this element of the proposal.

7. STATUTORY CONSULTATION

7.1 Planning and Transportation Policy

Additional cycle parking has been requested. At present, two spaces have been provided, however, additional cycle parking could be accommodated within the flats themselves if required.

7.2 Highways

There is no objection to the residential element (given the planning history of adjacent properties in Bearwood Town Centre) yet concerns are raised regarding the manoeuvring space of commercial vehicles. These parking spaces however were approved under the previous permission DC/19/62649.

7.3 Environmental Health (Air Quality)

They have stated that due the poor air quality recorded on the Bearwood Road, they consider that future residents should be adequately protected

and hence they have recommended that an air quality mitigation measures plan is submitted to include glazing specifications, non-openable windows on the front façade and a detailed specification of mechanical ventilation to provide clean air to the residential flats. This was conditioned on the previous approval and can be conditioned as part of the revised application. In addition, they have requested details of electric vehicle charging points. However no parking provision for residents is proposed and hence this is not a reasonable condition to impose on this application.

7.4 Environmental Health (Air Pollution and Noise)

As with the above concerns, it is considered that noise from the Bearwood Road should also be mitigated and similar conditions have been requested. These can be conditioned accordingly.

7.6 West Midlands Police

No objections.

7.7 Private Sector Housing

The comments received are not material planning considerations and this is covered by other legislation, primarily building regulations.

8. GOVERNMENT GUIDANCE/NATIONAL PLANNING POLICY

8.1 National Planning Policy Framework promotes sustainable development but states that that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

9. LOCAL PLANNING POLICY

9.1 The following policies of the Council's Local Plan are relevant:-

HOU1: Delivering Sustainable Housing Growth
HOU2: Housing Density, Type and Accessibility
ENV3: Design Quality
ENV8: Air Quality
SAD EOS9: Urban Design Principles

9.2 With regard to policies HOU1 and HOU2 the site already provides housing but this proposal will provide additional homes to meet future needs.

9.3 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. Subject to appropriate noise and air quality

mitigation measures, I am satisfied the layout of the flats complies with the Council's residential design guidance and provides a good quality living environment.

- 9.4 ENV8 refers to air quality, and conditions have been recommended in order for the development to comply with this policy.

10. MATERIAL CONSIDERATIONS

- 10.1 The material considerations relating to Government policy (NPPF) and proposals with the local plan have been referred to above in Sections 8 and 9. With regard to the other considerations these are highlighted below:

10.2 Overlooking/loss of privacy

The proposal complies with the Council's separation distance guidelines (Point 6.3(i)).

10.3 Loss of light and/or outlook

The main body of the building remains unchanged from what has been on site for several years. The proposal is to reuse the existing premises.

10.4 Public visual amenity

The rear of the site is out of view from the main street, therefore there is little impact on visual amenity.

10.5 Overbearing nature of proposal

As indicated in 10.3 above, the footprint of the building already exists.

10.6 Access, highway safety, parking,

The site has permission to use the rear of the site for parking of commercial vehicles under the previous application and access is via a long-established service road.

10.7 Noise and disturbance from the scheme

Environmental Health have not raised any concerns regarding noise break out to existing residents, merely that future occupiers of the flats should be protected from noise emanating from the Bearwood Road. In addition, the service road separates the site from residential properties in Herbert Road, and the rear elevation of the existing premises meets the Council's separation distance guidelines.

10.8 Disturbance from smells

Environment Health have raised no objections and, given the separation distances from the proposal to residential properties on Herbert Road, I do not foresee that the development would cause any significant odour issue.

11. IMPLICATIONS FOR SANDWELL'S VISION

- 11.1 The proposal supports Ambitions 7 and 10 of the Sandwell Vision 2030: -
- 11.2 Ambition 7 – We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes.
- 11.3 Ambition 10 – Sandwell has a national reputation for getting things done, where all local partners are focussed on what really matters in people's lives and communities.

12. CONCLUSIONS AND SUMMARY OF REASONS FOR THE RECOMMENDATIONS

- 12.1 Whilst the development meets the Council's separation distance guidelines, the concerns of residents over the potential for overlooking have been noted. Therefore, the applicant has agreed to obscurely glaze the windows that face the gardens of Herbert Road.
- 12.2 Additionally, it has also been agreed that extra roof lights will be installed, providing a better quality of living space to future residents.
- 12.3 The additional homes the development would provide would provide much needed living accommodation within the Borough.
- 12.4 The granting of conditional planning permission is therefore recommended.

13. STRATEGIC RESOURCE IMPLICATIONS

- 13.1 When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.

14. LEGAL AND GOVERNANCE CONSIDERATIONS

14.1 This application is submitted under the Town and Country Planning Act 1990.

15. EQUALITY IMPACT ASSESSMENT

15.1 There are no equalities issues arising from this proposal and therefore an equality impact assessment has not been carried out.

16. DATA PROTECTION IMPACT ASSESSMENT

16.1 The planning application and accompanying documentation is a public document.

17. CRIME AND DISORDER AND RISK ASSESSMENT

17.1 There are no crime and disorder issues with this application.

18. SUSTAINABILITY OF PROPOSALS

18.1 Refer to the national planning framework (8) and local plan policies (9) and material considerations (10).

19. HEALTH AND WELLBEING IMPLICATIONS (INCLUDING SOCIAL VALUE)

19.1 Refer to the summary of the report (12).

20. IMPACT ON ANY COUNCIL MANAGED PROPERTY OR LAND

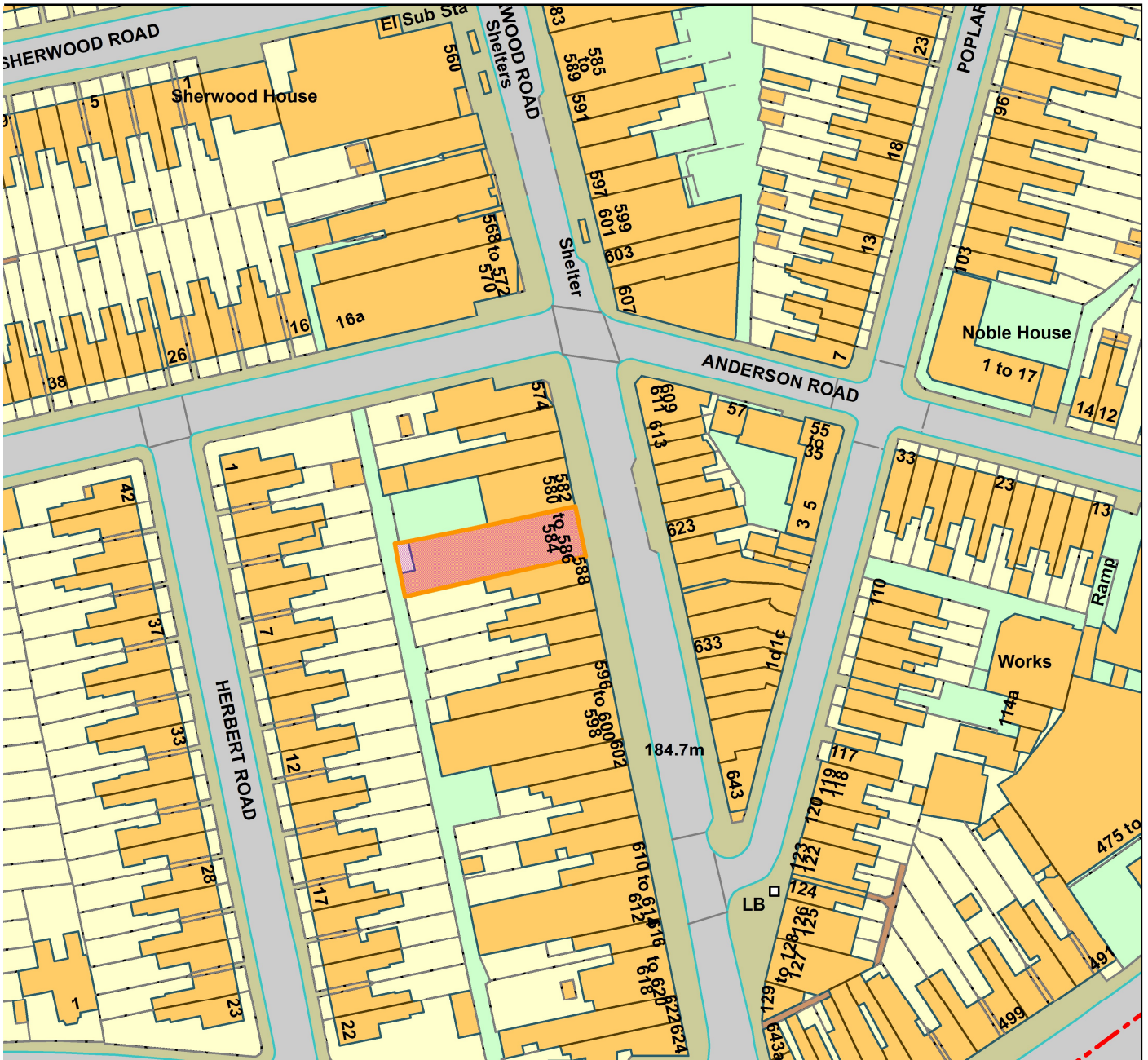
20.1 There will be no impact.

21. APPENDICES:

Site Plan
Context Plan
03 REV I
04 REV D
05 REV E

DC/19/63824

584 - 586 Bearwood Road, Smethwick



Legend

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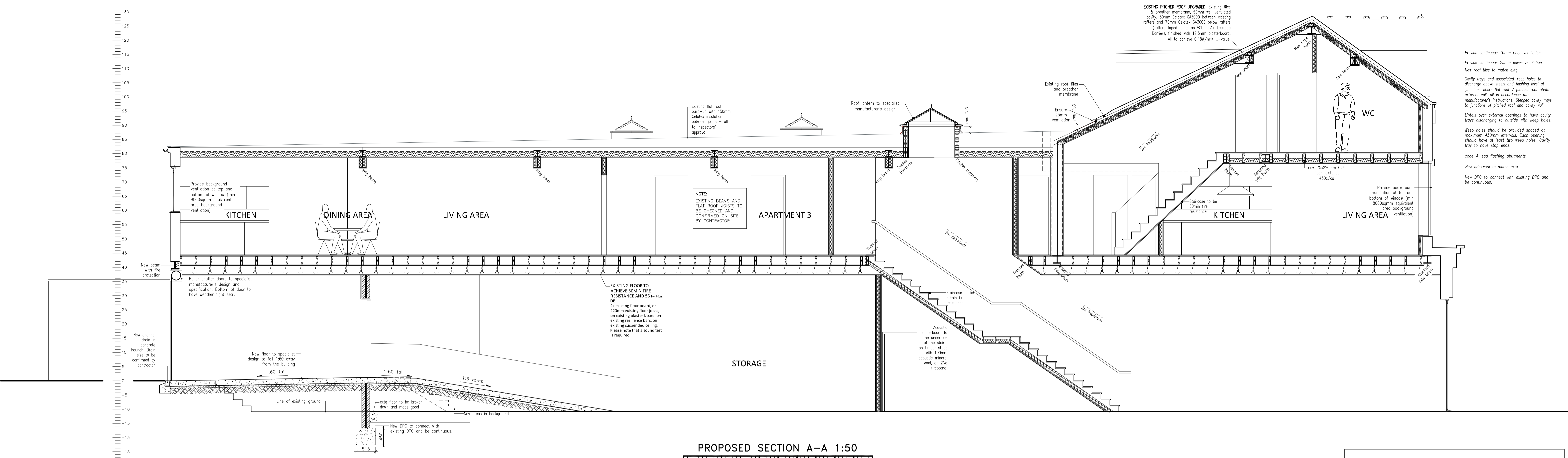
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Department	Not Set
Comments	
Date	26 February 2020
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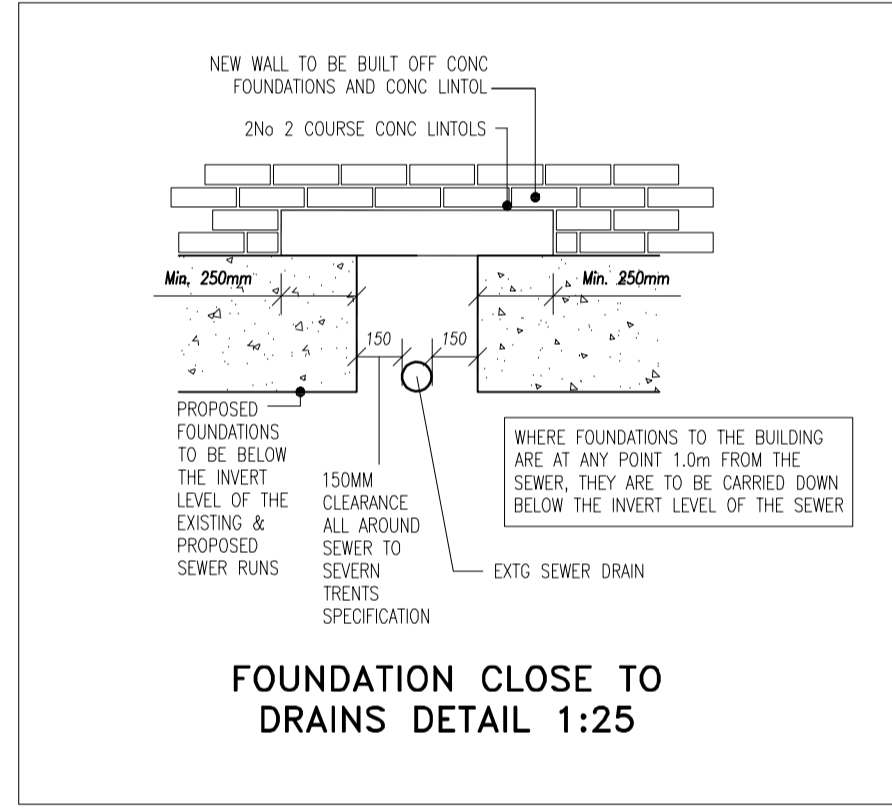
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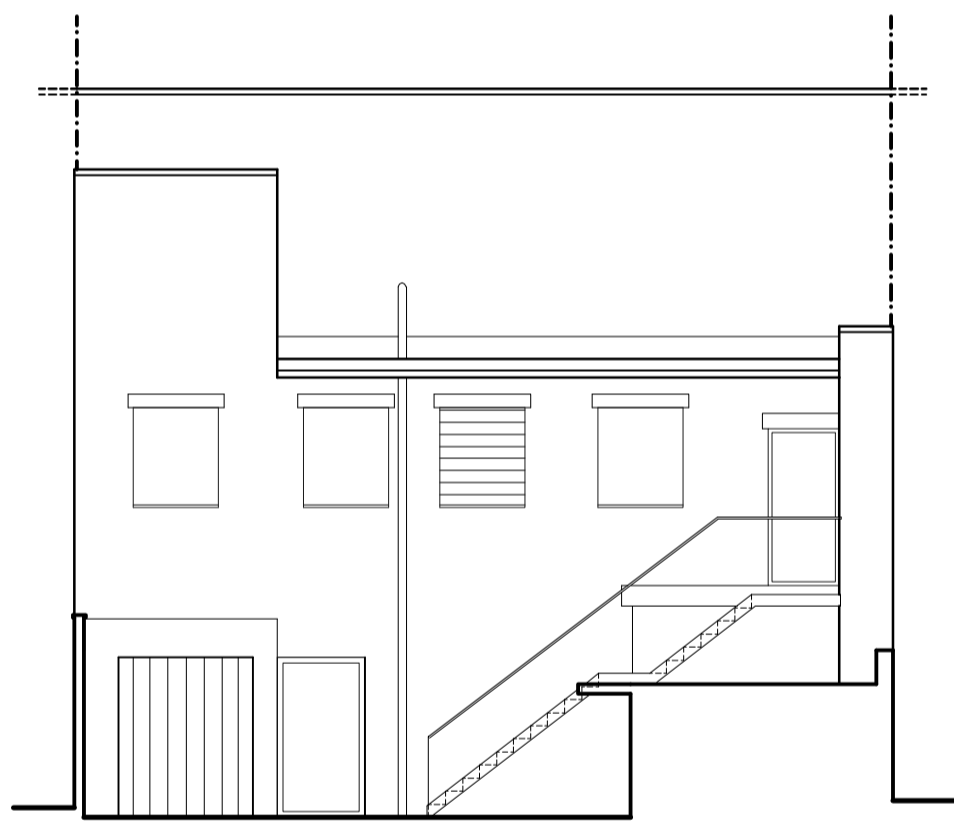




PROPOSED SECTION A-A 1:50
0 1 2 3 4 5m



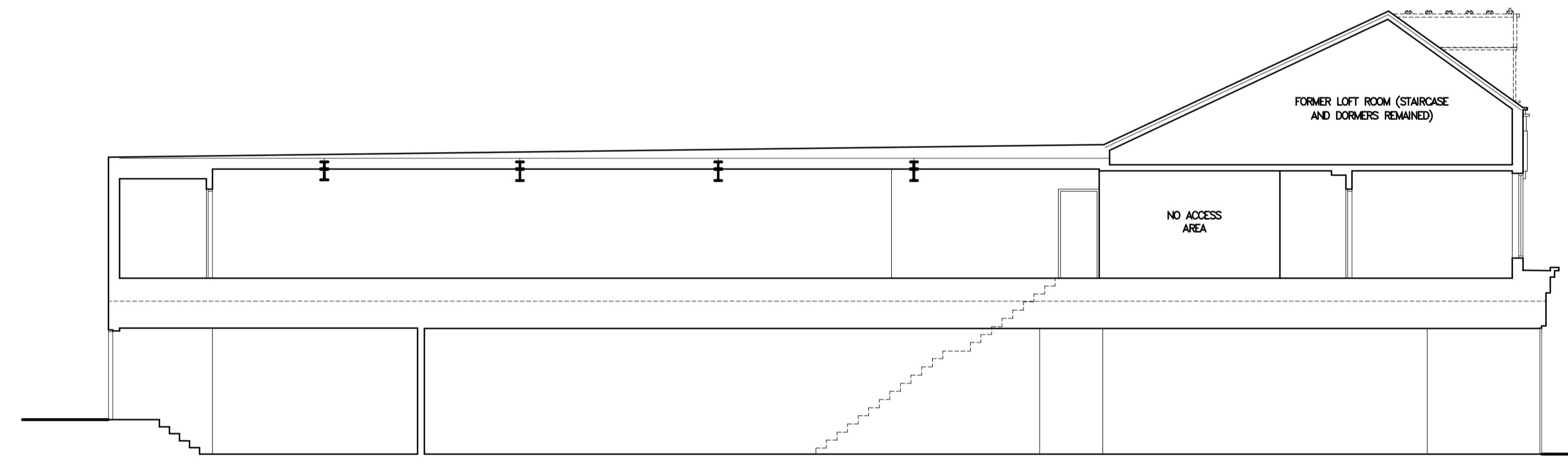
FOUNDATION CLOSE TO DRAINS DETAIL 1:25



EXISTING REAR ELEVATION 1:100
SCALE 1:100 0 1 2 3 4 5m



EXISTING FRONT ELEVATION 1:100
SCALE 1:100 0 1 2 3 4 5m



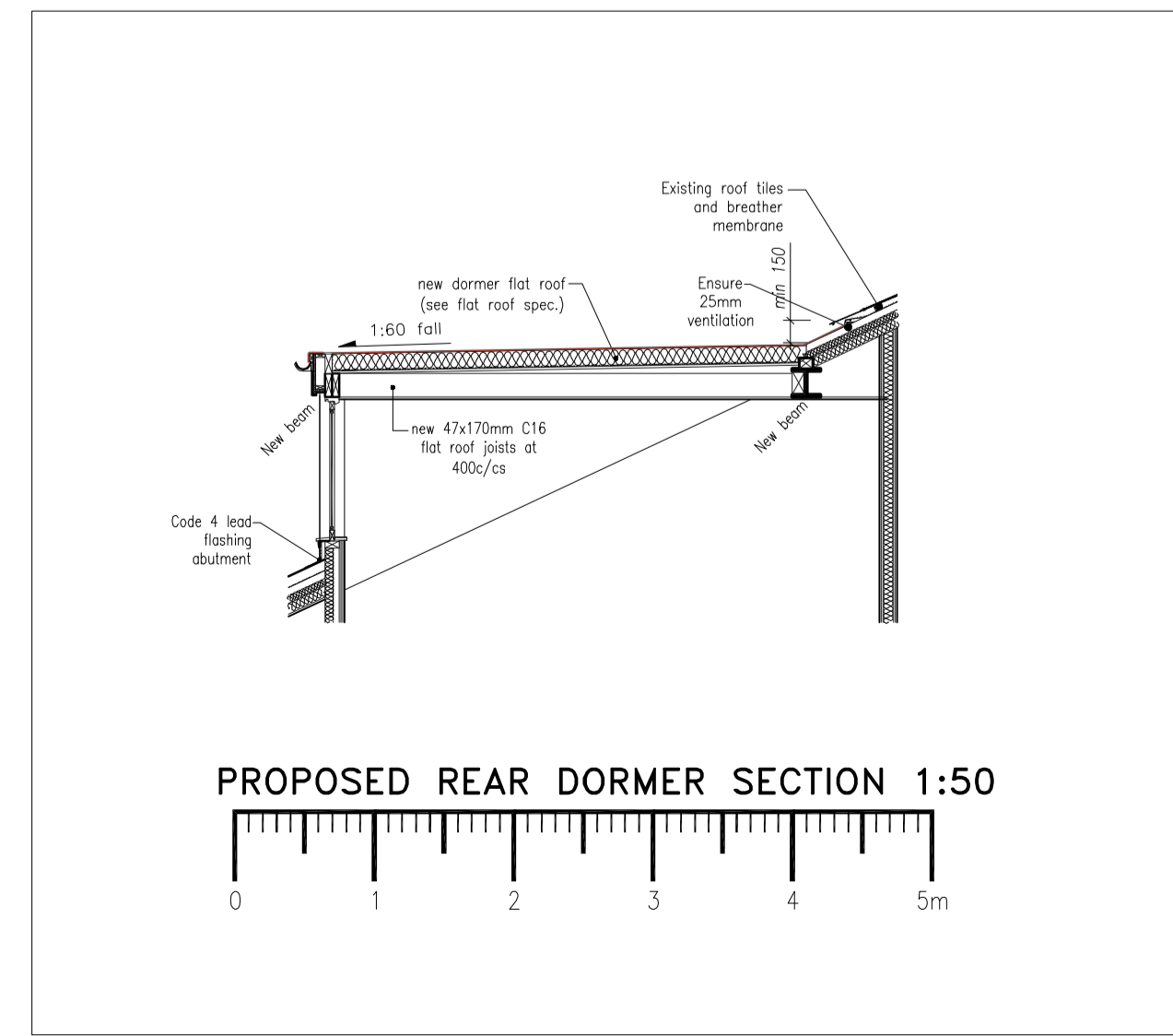
EXISTING SECTION A-A 1:100
SCALE 1:100 0 1 2 3 4 5m



PROPOSED REAR ELEVATION 1:100
SCALE 1:100 0 1 2 3 4 5m



PROPOSED FRONT ELEVATION 1:100
SCALE 1:100 0 1 2 3 4 5m



PROPOSED REAR DORMER SECTION 1:50
0 1 2 3 4 5m

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 - Client to commence with construction work only upon receipt of Full and unconditional building regulations approval.

Rear staircase and door added	E	05.09.19
Staircase position altered+ other amendments	D	19.07.19
Elevations updated	C	25.06.19
Scheme revised	B	04.06.19
Showing 50% of the shop as retail and 50% storage	A	09.04.19
Revision:	Issue:	Date:

Drawn By: FM Scale: AS SHOWN @A1 Date: MARCH 19

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SMETHWICK
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drawing:
BUILDING REGULATIONS: FIRST & SECOND FLOOR PLANS

Job No:	Drq No:	Issue:
3290	05	E

Specification

FOUNDATIONS:
Concrete strip foundations, size as shown, depth 1m – or down to load bearing sub-soil and below level of any adjacent drains – to the satisfaction of the Building Inspector.

DRAINAGE:
New drains to be 100mm flexible jointed Superseve laid to fall 1 in 40 surrounded and bedded in pea-gravel. Any drains that pass below new building to be protected by concrete linings through foundation walls (and, if within 500mm of floor slab, surrounded by 150mm of concrete). All connections to be to the satisfaction of the Building Inspector.

SERVICES:
Plumbing heating and electrical installations to be carried out as instructed by client by suitably qualified installers to all current relevant standards & regulations.

PLUMBING:
New appliances to be fitted with deepseal traps with the following waste sizes: basins 32mm; baths 40mm; showers 40mm. New SVPs to terminate min 900mm above any opening window within 3m and to be fitted with bird mesh.

SECOND FLOOR:
21mm tongue & groove boarding, on 19mm Gyproc Plank on SIF channels, on 75x220mm C24 floor joists at 450c/cs with 100mm Isover Spacesever Ready-Cut insulation between joists, on 19mm Gyproc Plank and 12.5mm SoundBloc. All to achieve a 60min fire insulation.

WALLS:
100mm facing brickwork with 215mm piers. Assts d.p.c. min 150mm above finished ground level. Class B engineering brickwork below d.p.c. to min 2 courses below ground level. New walls 50% bonded to existing.
Joints to be 10mm, with compressible strip (to 50% thickness) facefilled with polysulphide compressible filler.

EXISTING STRUCTURE:
Any items of existing structure that are affected by the alterations (including foundations) to be exposed at the request of the Building Inspector to determine the suitability to take additional loads.

STUD PARTITIONS:
75x50mm timber studs (100x50 stud at left floor), sills heads and noggins faced both sides with 12.5mm plasterboard & 3mm skim, built off double joists where parallel to partition. Voids to be filled with Rockwool.

STUD PARTITIONS (APARTMENTS' FIRE ESCAPE ROUTE):
Two layers of 12.5mm Gyproc Fireline Board each side of 75x50mm timber stud @ 600c/cs. Voids to be filled with 25mm Isover Acoustic Partition Roll (APR 1200) insulation.

SEPARATING STUD PARTITIONS (APARTMENTS' LANDING ESCAPE ROUTE):
Two layers of 12.5mm Gyproc SoundBloc board on each side of 75x38mm timber stud @ 600mm c/cs with Gyproframe R81 Resilience Bars fixed horizontally to both sides @ 600mm c/cs. 50mm Isover Acoustic Partition Roll (APR 1200) in the cavity and 2x12.5mm Lining-System reference A046006.

All to achieve sound insulation 51Rw+10dB and 60min fire resistance.

ELECTRICAL INSTALLATION:
All electrical installation must be in accordance with BS 7671:2001 and must be undertaken by a competent electrician certified by the IAEA or any other scheme authorized by the Secretary of State.

GLAZING:
Glassed doors, and any windows within 300mm of doors or with sill height lower than 800mm, to be fitted with toughened or laminated glass to BS5206:1981. (Does not apply to panes with width less than 250mm). 24mm unit of 4mm K glass 16mm air gap and 4mm spigot clear or similar to give 1.6 W/m²K U value
All new windows to be double-glazed. Outside edge of frames to be sealed with mastic. Drought seals to be fitted to all openings. All habitable rooms above ground floor level to have a clear opening area of at least 0.35sqm (min dim to be 0.45 high and wide)

VENTILATION:
Windows to habitable rooms to have opening vents not less than 5X floor area of room plus 8000mm², controllable trickle ventilation. Kitchen and bathroom to have 4000mm² controllable trickle ventilation.

LINEELS:
Provide Cnic Lineels (CNT up to 1800mm span, CMB above 1800mm span) over external openings. R.C. lintels over internal openings. Or as shown.

MECHANICAL VENTILATION:
Mechanical ventilation ducted to outside air to be provided to give the following extraction rate:
Kitchen – 60/s intermittent or 30/s cooker hood.
W.C. – 6/s with 15 min overrun.
Bathroom – 15/s intermittent.

PITCHED ROOF:
Tiles to match existing, on 38x25mm pre-treated timber battens, on Tyvek breathable membrane, on C16 timber rafters (see plans, sections for sizes and spacing). Tile fixing, spacing, ventilation, headings & batten size to manufacturer's instructions.
Insulation between and below rafter level to achieve U-value 0.18w/m²k:
Celotex G4300 50mm between rafters and Celotex G4300 70mm below rafters. Rafters faced joints as VCL + Air Leakage Barrier. Finished with 12.5mm plasterboard and skim.

LATERAL RESTRAINT (FLAT ROOFS, CEILING, FLOORS):
Perpendicular to the span of the new flat roof joists. Use 30x6mm galv m.s. straps at max 1.5m centers to strap wall to line joists. Strap fully supported on 38mm wide x 1/2 joist depth noggings between joists.
Longitudinally, joists to have min 90mm bearing on supported wall at each end. Or where joists on hangers longitudinally against joists min 1200mm long 30x6mm galv m.s. straps at max 1.5m centers. Straps to hold tight against masonry wall (see Approved Document A – Diagram 15).

VERTICAL HOLDING DOWN STRAPS (FLAT ROOF):
At eaves level, wall plate strapped vertically to wall using 30x2.5mm galv m.s. straps 1m long, at 2m centers.

VERTICAL HOLDING DOWN STRAPS (PITCHED ROOF):
Foot of each rafter strapped vertically to wall using 30x2.5mm galv m.s. straps min 1m long.

ROOF VENTILATION:
Provide continuous 25mm air gap to all eaves, filled with insect mesh. Provide vent tiles equivalent to continuous 5mm air gap at high level of all roofs and at low level where necessary.

RAINWATER:
Gullies 112mm hole round. RWP's 63mm to connect into drains via trapped gullies.

TIMBER & SEALER:
All external and structural timber to be treated timber. Once treated timber (C16 – C24) are cut, then the cut ends should be treated with end grain sealer.
END-GRAIN SEALER:
A purpose formulated sealer for sawn and grain timbers where the potential ingress of moisture will lead to dimensional instability of the timber. SHEL-GAL is a highly effective sealer and water repellent which maintains a high degree of micro porosity allowing entrapped moisture to escape.

DORMER WALL:
U value of 0.27w/m²k.
1.8mm Code 4 Lead on 12mm plywood on cavity ventilated space between 25mm battens, 60mm Celotex G4300 between 100mm timber studs, 40mm cavity between studs – low emissivity then 37.5mm Celotex FL3025 (25 +12.5mm), board joints sealed as VCL + air leakage barrier & 3mm skim to finish.
It to manufacturers recommendations.

FIRE PROTECTION:
Steel beam to be encased in layer of 15mm fireline board with staggered joints, and 3mm plaster.

FIRE STOPPING: ENCLOSURE FOR DRAINAGE OR WATER SUPPLY PIPES
Provide fire stopping between stock pipes and floor to compartment floor. Refer to Marley Sanitary Fitting Schedule

FIRE DAMPERS:
Fire dampers required to duct work passing through fire compartment. (Connected to fire detection system)

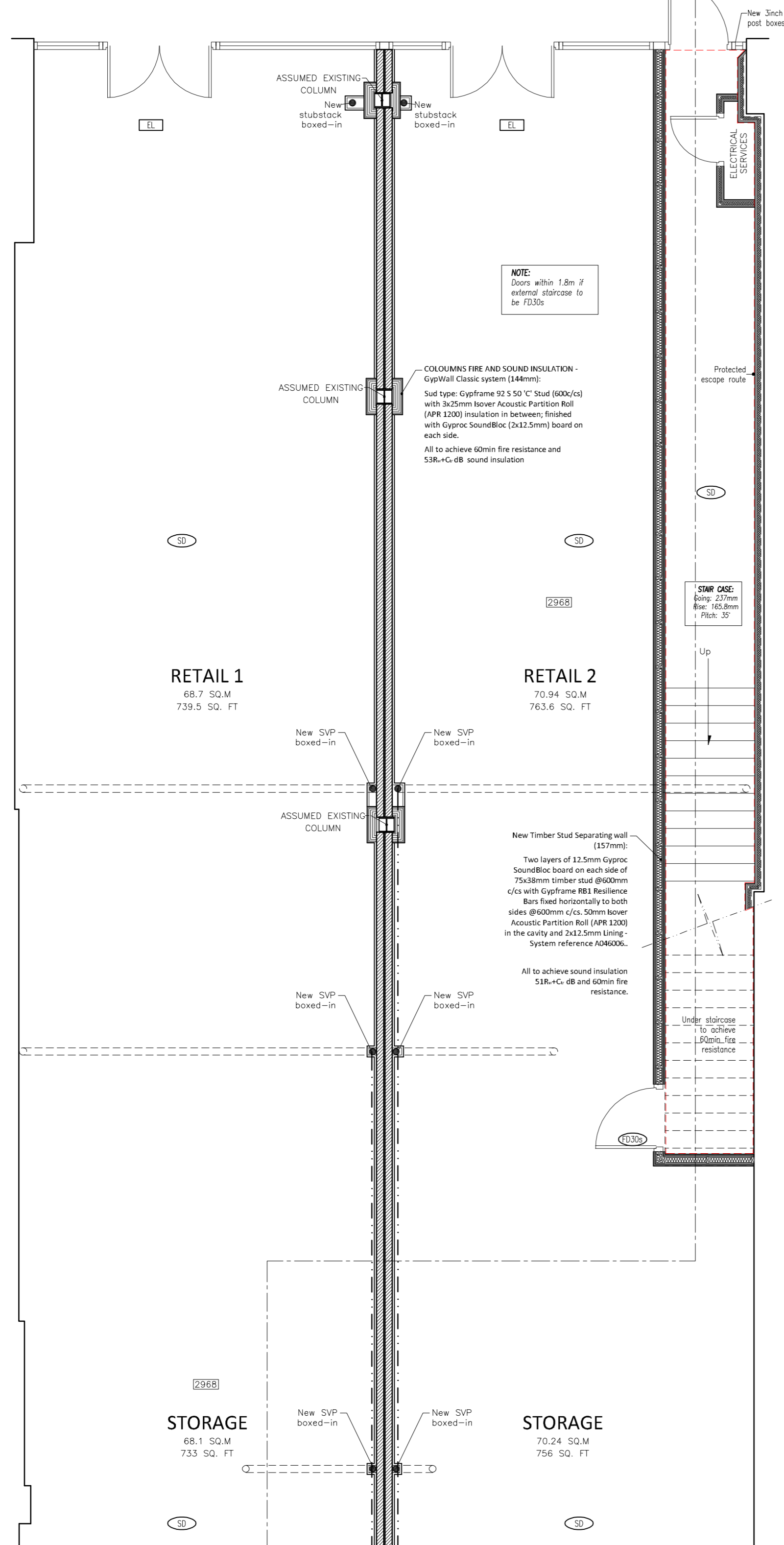
FD30S – FIRE DOOR:
Fire door to be half-hour fire-resisting in fire-check frame with 25mm rebates and fitted with self-closer. Existing door noted thus to have perko self-closing device fitted.

HEATING:
Existing c.h. system to be extended – new double radiator(s) in extension all fitted with TRVs.

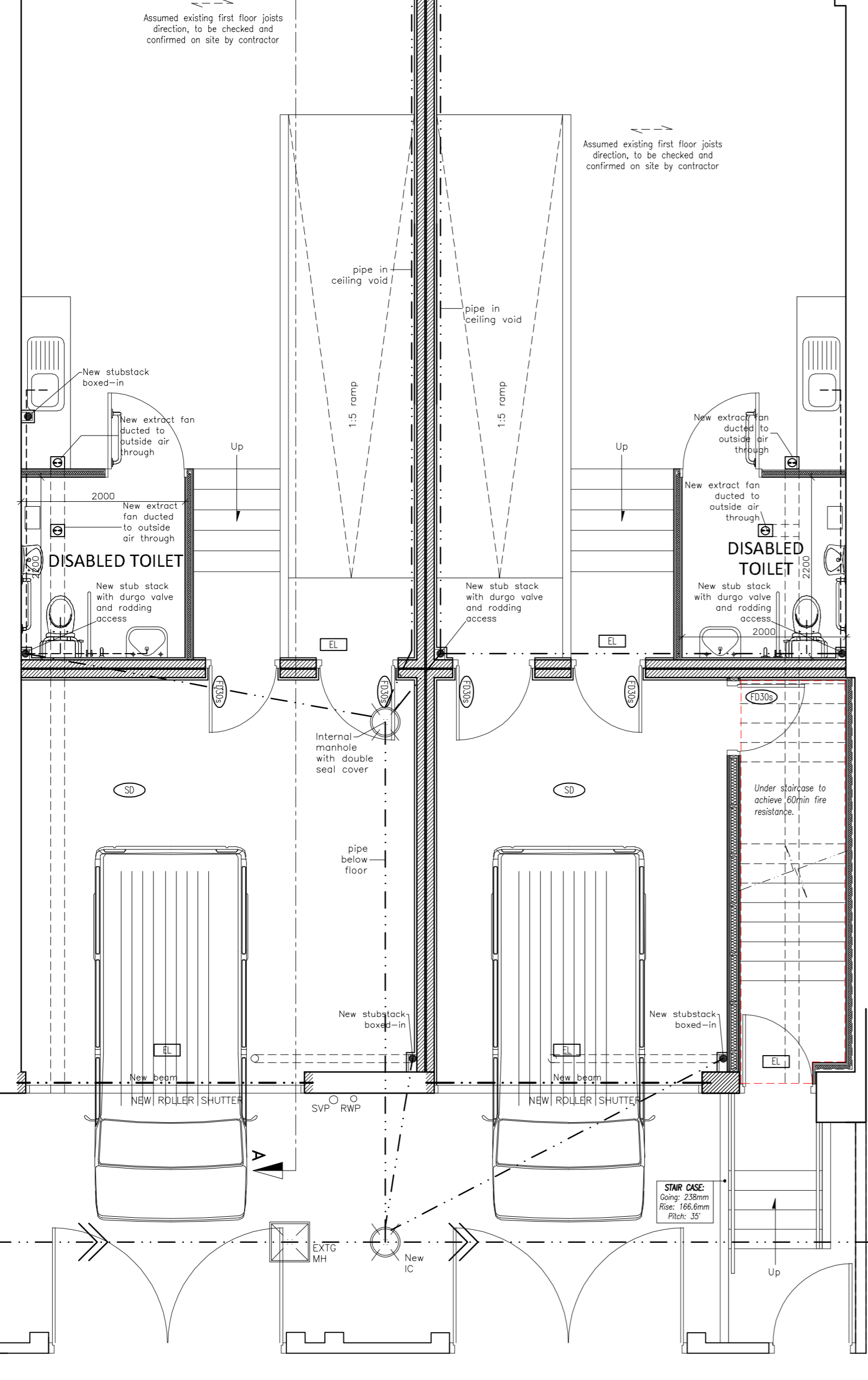
DECORATIONS:
New plastered walls & ceilings – prepare surfaces, carefully scrape off plaster splashes. Remove dirt, grease and loose deposits and dust off. Spot prime any metal fixings etc. using an appropriate metal primer and then a thinned coat of Dulux Trade Vinyl Matt emulsion over the whole area. Apply two finishing coats of Dulux Vinyl Matt Emulsion – colour to be confirmed. Woodwork – Clean to ensure all areas are free from dirt & grease. Abrade sharp edges and any raised grain etc., working in the direction of the grain. Treat knots and resinous areas by removing resin and applying a thin coat of Dulux Knotting solution. Apply one coat of Dulux Wood Primer white. Finishing coats– two coats Dulux Trade gloss, colour to be specified.

STAIRCASE:
See plans for Goings, Risers & pitch dimensions. Minimum headroom 2000mm.

HANDRAIL:
Handrail to be 1100mm high guarding to have vertical balusters with no voids that will allow passage of 100mm sphere.



EXISTING GROUND FLOOR PLAN 1:100
SCALE 1:100



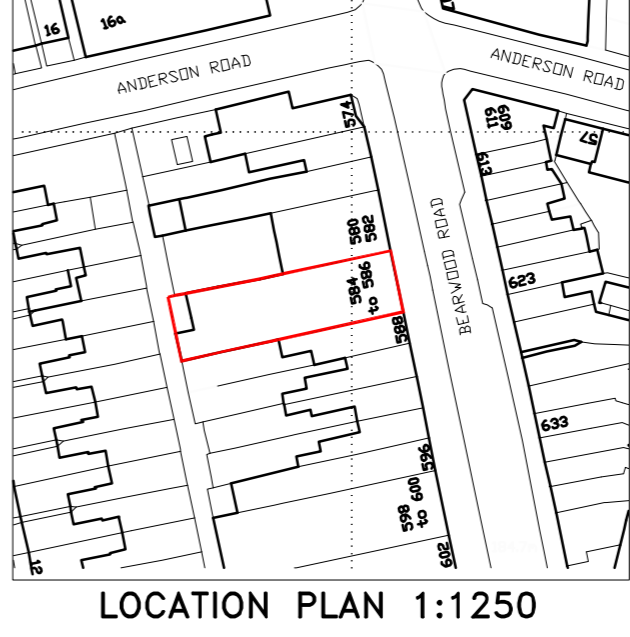
PROPOSED GROUND FLOOR PLAN 1:50

SMOKE ALARMS:
FLATS:
All flats should be provided with a fire detection and fire alarm system in accordance with the relevant recommendations of BS 5839-6:2004 Code of practice or the design, installation and maintenance of fire detection and fire alarm systems in dwellings to at least a Grade D Category LD3 standard.
The power supply for a smoke alarm system should be derived from the flat's mains electricity supply. The mains supply to the smoke alarms should comprise a single independent circuit of the flat's main distribution board – consumer unit – or a single regularly used local lighting circuit. THE ELECTRICAL INSTALLATION TO COMPLY WITH APPROVED DOCUMENT P.
The smoke and heat alarms should be main-operated and conform to BS EN 14604:2005. Smoke alarm devices or BS 5446-2:2003. Fire detection and fire alarm devices for dwellings, PART 2 specification for heat alarms, respectively. They should have a standby power supply such as a battery (either rechargeable or non-rechargeable) or capacitor.
Smoke alarms should be positioned in the circulation spaces between sleeping spaces and places where fires are most likely to start (e.g. kitchen and living rooms) – at least one smoke alarm in every flat.
Where more than one alarm is installed, they should be linked so that the detection of smoke by one unit operates the alarm signal in all of them – maximum number of units to manufacturers' instructions.
Smoke alarms in circulation space should be within 7.5m of the door to every habitable room; they should be ceiling mounted and at least 300mm from walls and light fittings (unless compliance of proximity is proved otherwise by test of light fittings).
Units to be fitted in accordance with manufacturers instructions and wall-mounted units should be above doorway levels opening into the space.
Sensors in ceiling-mounted devices to be between 25mm and 600mm below the ceiling and 25-150mm in the case of heat detectors/alarms.
Devices should be easily accessible for maintenance.
Devices should not be fitted in any rooms or areas which may compromise their performance, e.g. in bathrooms, garages, near heaters and airconditioners or areas with high smoke and fume emittance.

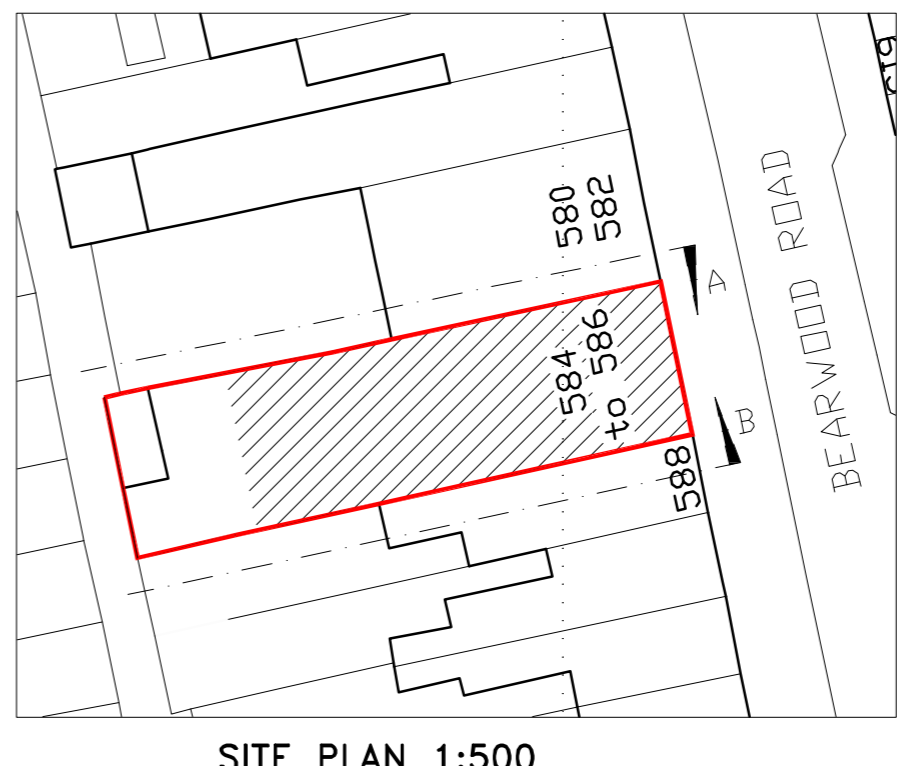
SHOP:
Provide a suitable electrically operated fire warning system (to comply with BS 5839-1:2002 Fire Detection and alarm systems for buildings, Code of practice for system design, installation and commissioning and maintenance) with manual call points sited adjacent to exit doors and sufficient sounders to be clearly audible throughout the building. Call points should comply with BS 5839-2:1983, or type A of BS EN 54-11:2001 and these should be installed in accordance with BS 5839-1

PROTECTED ESCAPE ROUTE
Protected escape route enclosure (left, first floor, ground floor & stairs) to have minimum 60 minutes fire resistance.
Walls & first floor ceiling to be checked by contractor and upgraded to building control approval
All openings into the protected route to be of fire resisting construction (min 60mins) and install fire cavity barriers where necessary.

KEY:
SD SMOKE ALARM
SD30 30MIN FIRE DOOR
PE PROTECTED ESCAPE ROUTE
EL EMERGENCY LIGHTING



LOCATION PLAN 1:1250



SITE PLAN 1:500

GENERAL NOTES

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Redline added	I	18.12.19
Minor amendments	H	29.11.19
Rear staircase added+ other amendments	G	05.09.19
Staircase position altered+ other amendments	F	19.07.19
Further info. added+other minor amendments	E	25.06.19
GF toilets updated	D	06.06.19
GF toilets updated	C	05.06.19
Scheme revised	B	04.06.19
Showing 50% of the shop as retail and 50% storage	A	09.04.19

Revision: _____ Issue: _____
Date: _____

Drawn By: **FM** Scale: **AS SHOWN** Date: **01 MARCH 19**

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client:
MR SANDEEP DOSHI

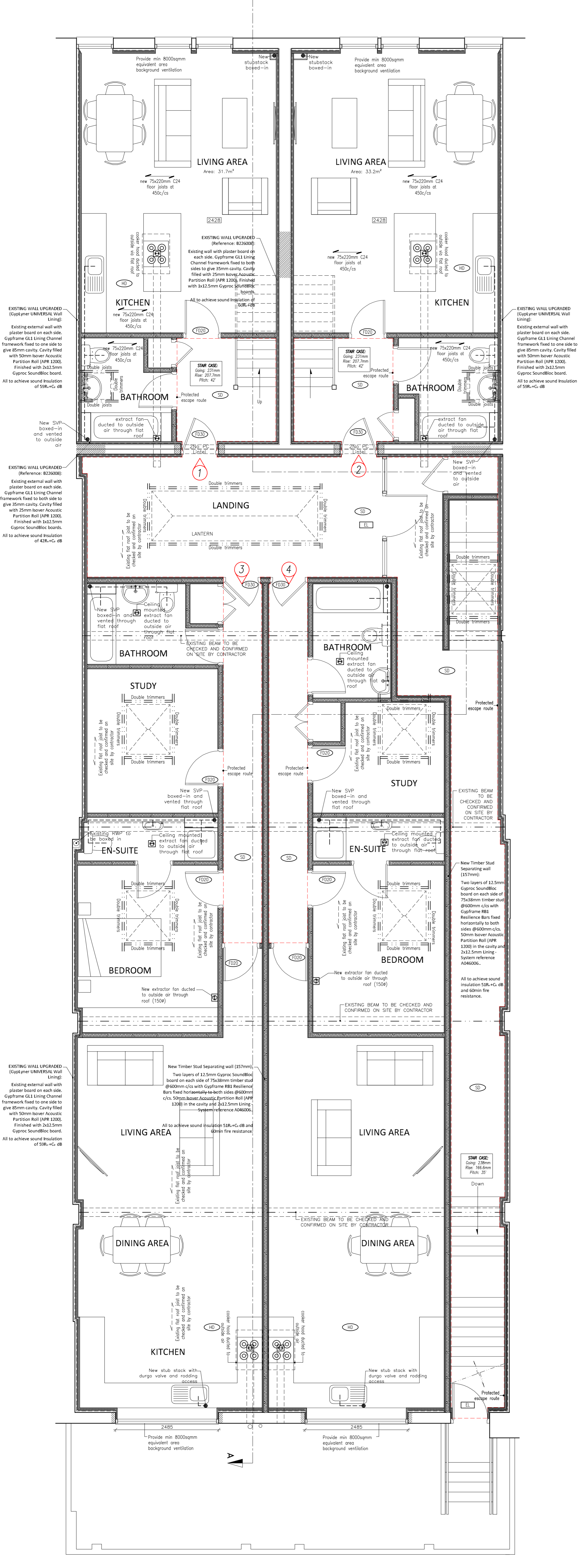
job:
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drawing:
BUILDING REGULATIONS: PLAN AND SPECIFICATIONS

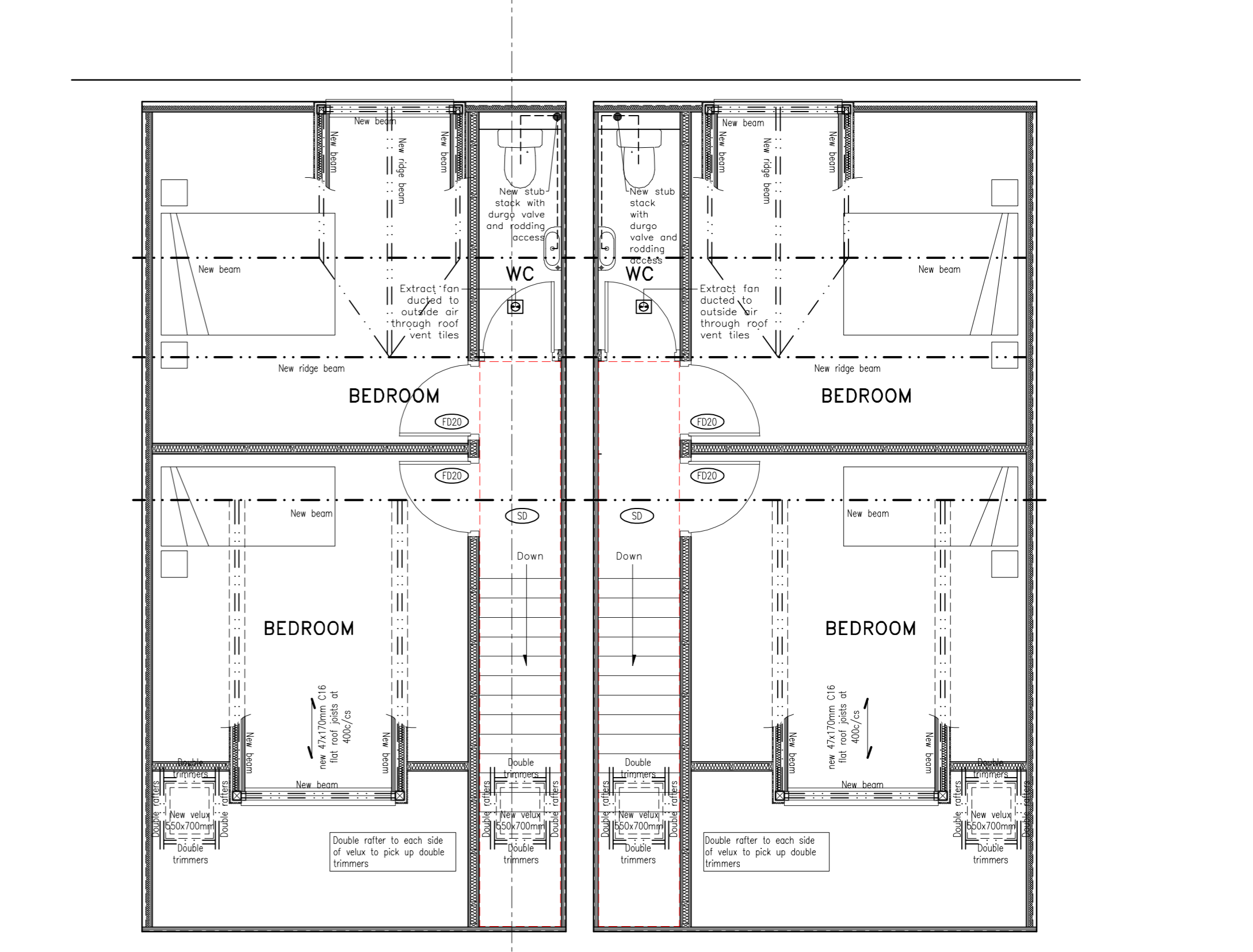
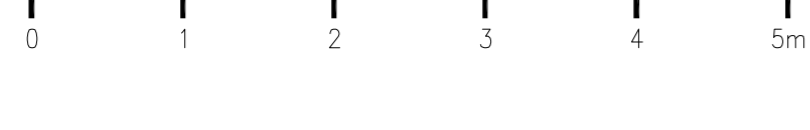
Job No:	3290	Dwg No:	03	Issue:	1
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NOTE: ALL DRAINAGE ON SITE TO BE REPLACED TO THE APPROVAL OF THE BUILDING CONTROL OFFICER.
AFTER COMPLETION CCTV SURVEY TO BE CARRIED OUT AND REPORT TO BE ISSUED TO SEVEN TRENT

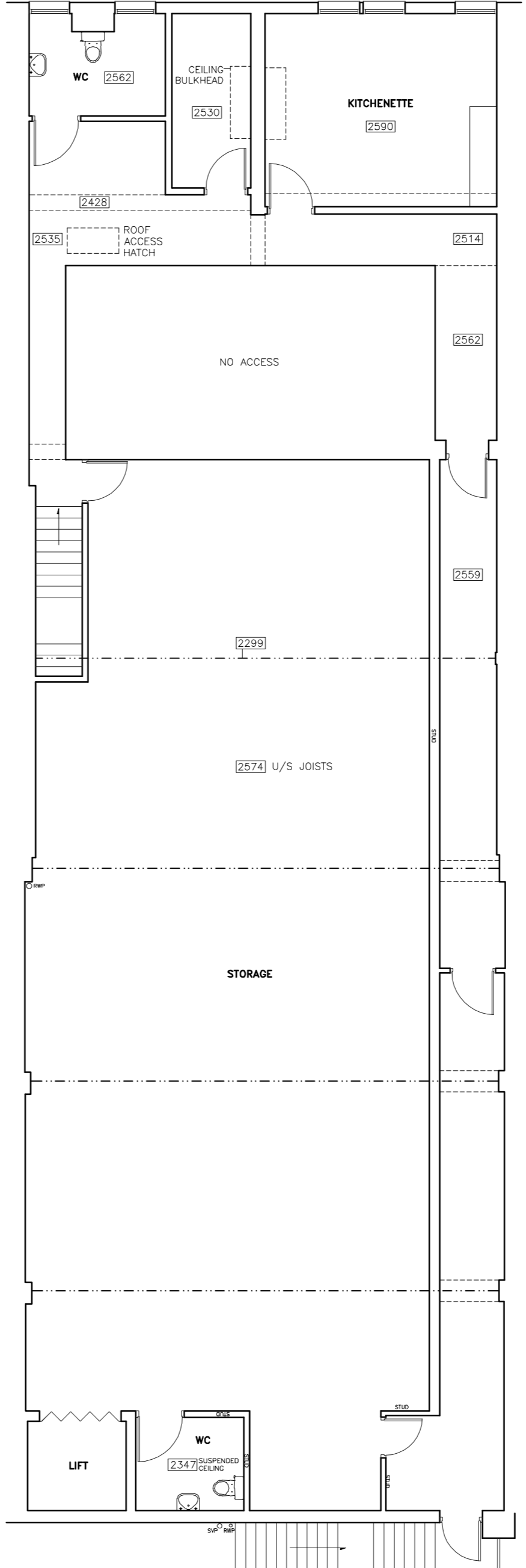
NOTE:
Contractor to check and confirm existing drainage arrangement on site prior to commencement of works and report to architect. If Seven Trent Water public drain is present on site within 3m of the new development, Seven Trent Water build over application is applicable. Contact this office for advice.



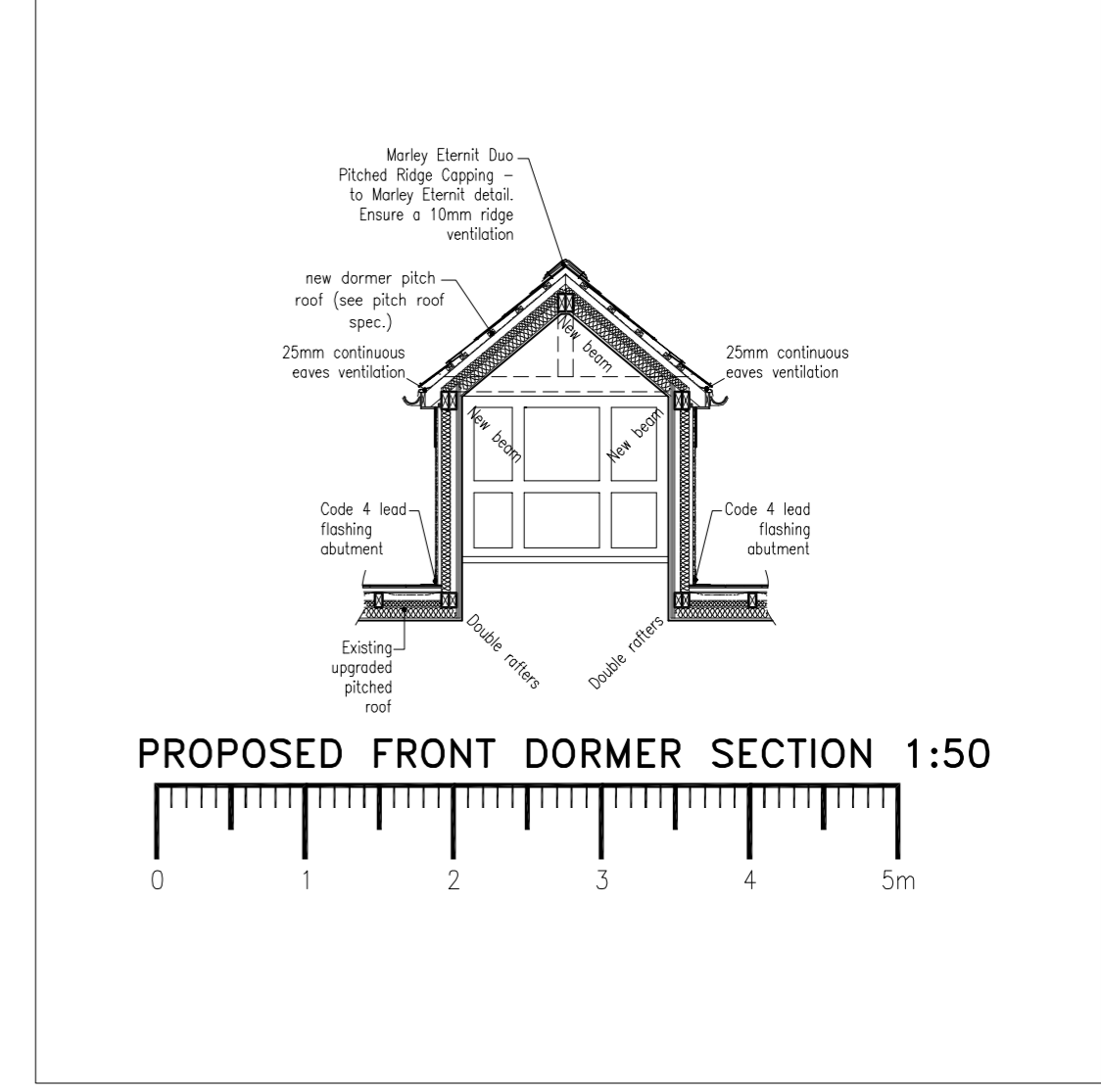
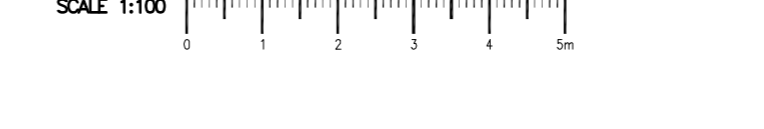
PROPOSED FIRST FLOOR PLAN 1:50



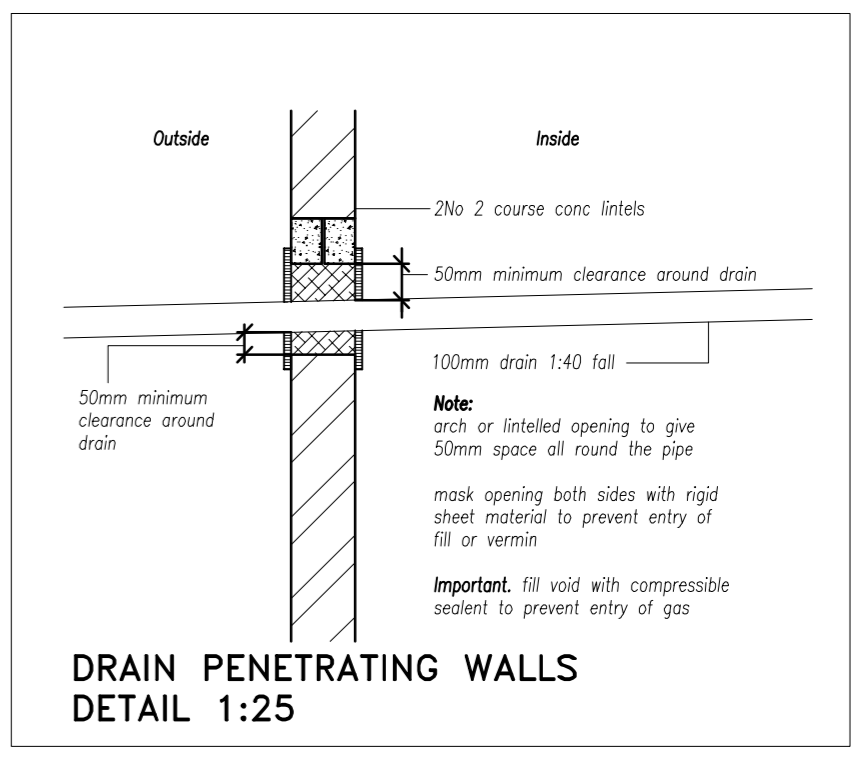
PROPOSED SECOND FLOOR PLAN 1:50



EXISTING FIRST FLOOR PLAN 1:100



PROPOSED FRONT DORMER SECTION 1:50



DRAIN PENETRATING WALLS DETAIL 1:25

PROTECTED ESCAPE ROUTE

Protected escape route enclosure (loft, first floor, ground floor & stairs) to have minimum 60 minutes fire resistance
 Walls & first floor ceiling to be checked by contractor and upgraded to building control approval
 All openings into the protected route to be of fire resisting construction (min 60mins) and install fire cavity barriers where necessary.

KEY:

- (SD) SMOKE ALARM
- (FD30) 30MIN FIRE DOOR
- (FD20) 20MIN FIRE DOOR
- PROTECTED ESCAPE ROUTE
- (HD) HEAT DETECTOR
- (EL) EMERGENCY LIGHTING

GENERAL NOTES
 1. Do not scale from this drawing.
 2. All dimensions must be checked on site and any discrepancies verified with the architect.
 3. This drawing is the sole copyright of Brophy Riaz & Partners Chartered Architects and no part may be reproduced without the written consent of the above.
 4. Client to commence with construction work only upon receipt of full and unconditional Building Regulations approval.

Rear staircase added + other amendments	D	05.09.19
Staircase position altered + other amendments	C	19.07.19
Further info, added + other minor amendments	B	25.06.19
Scheme revised	A	04.06.19

Revision:	Issue:	Date:
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Drawn By:	Scale:	Date:
FM	AS SHOWN @A1	MARCH 19

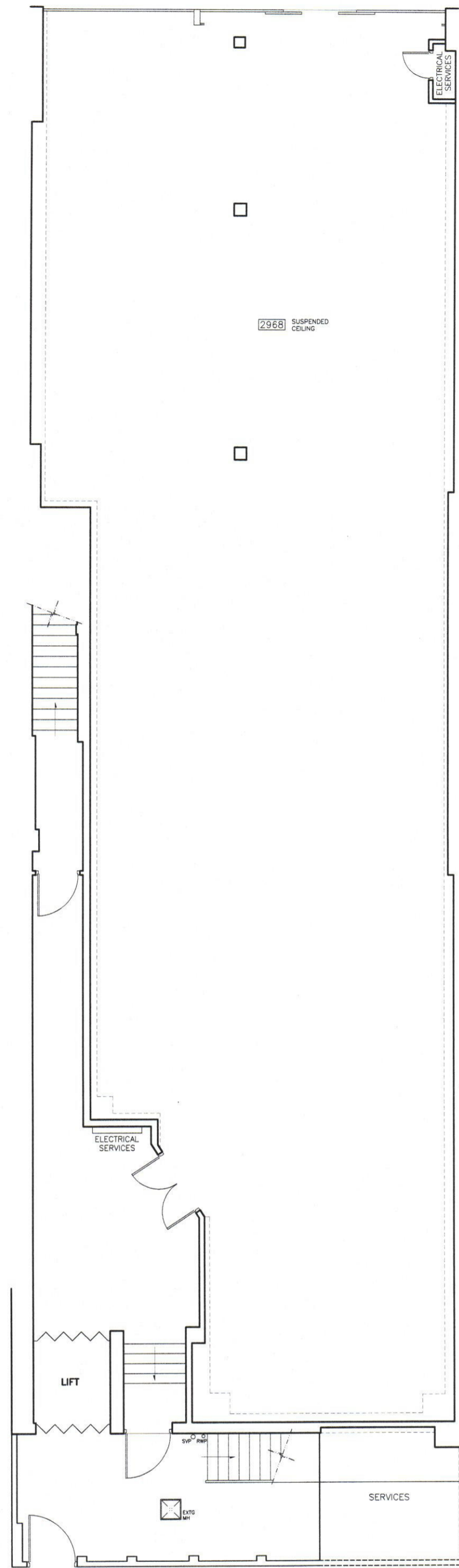
Brophy Riaz & Partners
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 48A HYLTON STREET, JEWELLERY QUARTER, B'HAM B18 6HH
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client:
MR SANDEEP DOSHI

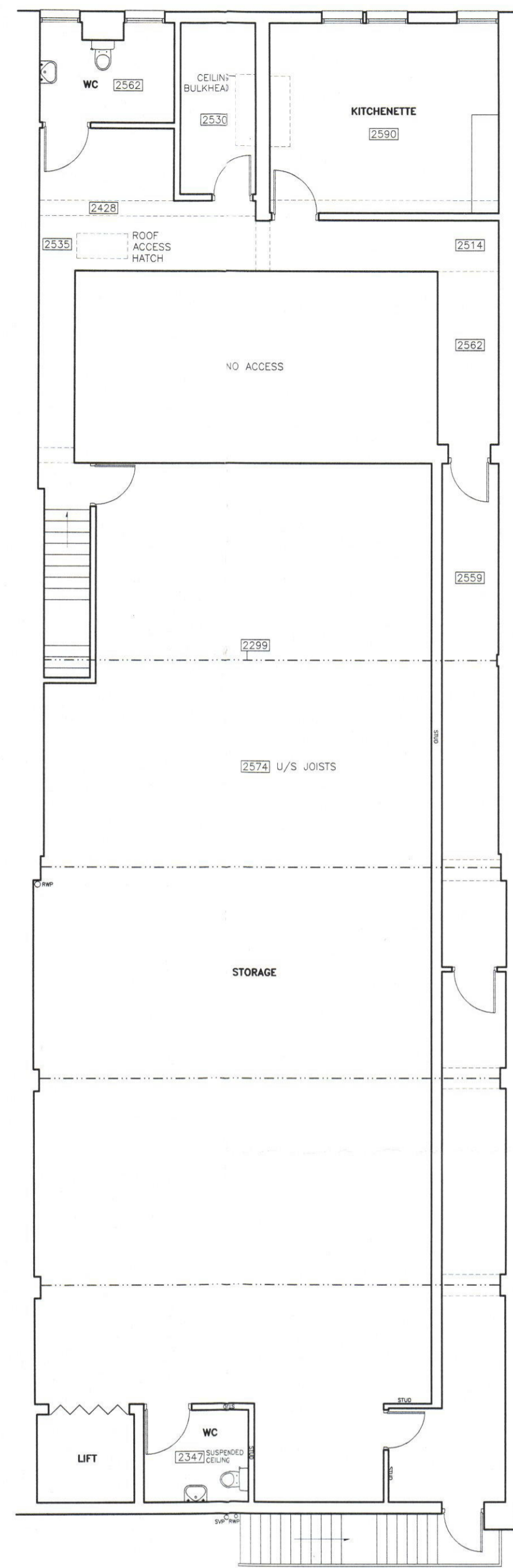
job:
584-586 BEARWOOD ROAD SMETHWICK B66 4BL

drawing:
BUILDING REGULATIONS: FIRST & SECOND FLOOR PLANS

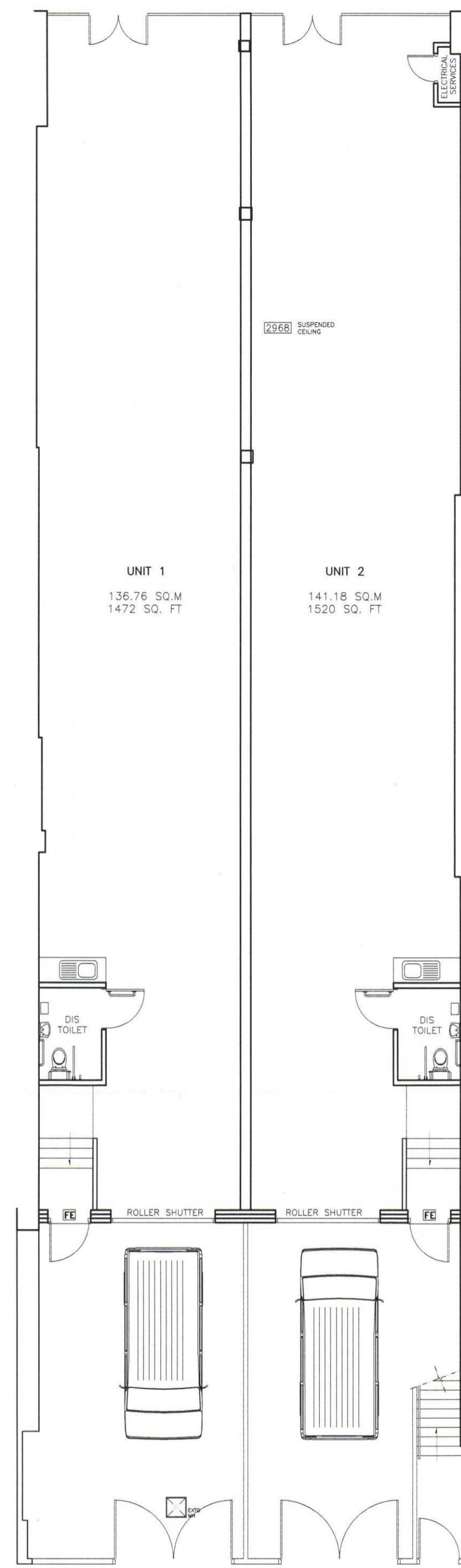
Job No:	Drq No:	Issue:
3290	04	D



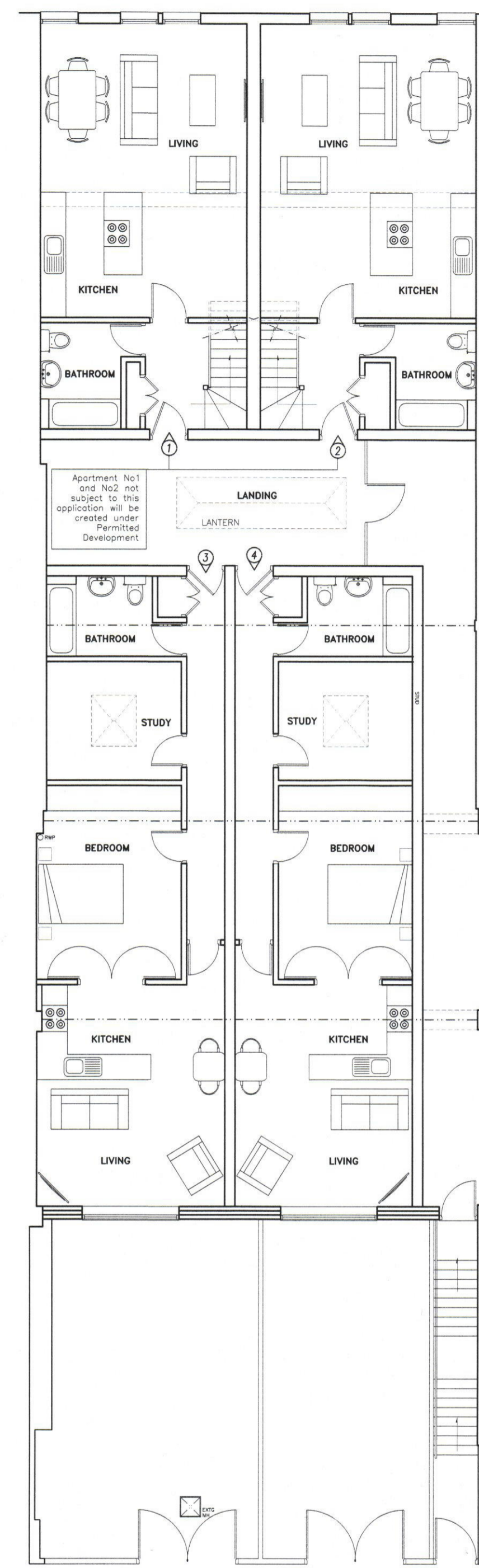
EXISTING GROUND FLOOR PLAN 1:100



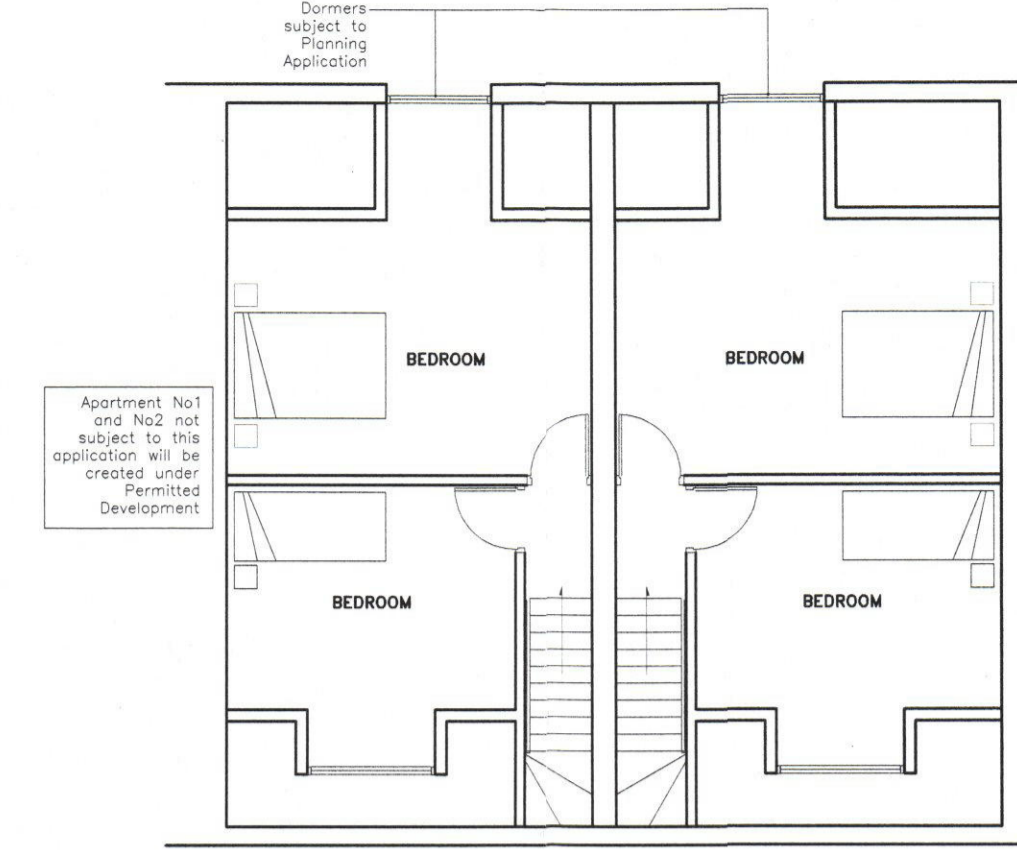
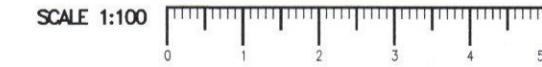
EXISTING FIRST FLOOR PLAN 1:100



PROPOSED GROUND FLOOR PLAN 1:100



PROPOSED FIRST FLOOR PLAN 1:100



PROPOSED SECOND FLOOR PLAN 1:100



LOCATION PLAN 1:1250



SITE PLAN 1:500

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Scale bar added	A	07.02.19
Revision:		Issue: Date:

Drawn By: RG	Scale: AS SHOWN	Date: JAN 2019
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job:
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 B66 4BL**

drawing:
**EXISTING & PROPOSED
 PLANS**

Job No: 3290	Dwg No: 01	Issue: A
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